

AGENDA
TRAVERSE CITY HISTORIC DISTRICTS COMMISSION
REGULAR MEETING
THURSDAY, MARCH 31, 2016
7:00 P.M.
Committee Room, Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684
231-922-4464

1. CALL MEETING TO ORDER

2. APPROVAL OF MINUTES

Approval of the February 25, 2016 regular meeting minutes.

3. REQUEST 16-HDC-04 FROM ROBERT V. LEGUTRO, 6015 WINGED FOOT DRIVE, GRAND BLANC, MICHIGAN for:

Approval of plans for a new front porch and rear dormer addition located at the property commonly known as **433 West Seventh Street**, Traverse City, Michigan. (Central Neighborhood Historic District).

4. REQUEST 16-HDC-05 FROM JOHN AND SUE SNOW, 536 WASHINGTON STREET, TRAVERSE CITY, MICHIGAN for:

Approval of plans for a 2-story master bath addition located at the property mentioned (Boardman Neighborhood Historic District).

5. OTHER BUSSINESS

6. ADJOURNMENT

The City of Traverse City does not discriminate on the basis of disability in the admission or access to or treatment or employment in, its programs or activities. Penny Hill, Assistant City Manager, 400 Boardman Avenue, Traverse City, Michigan, 49684, 922-4440, T.D.D., 922-4412, has been designated to coordinate compliance with the non-discrimination requirements contained in Section 35.107 of the Department of Justice regulations. Information concerning the provisions of the Americans with Disabilities Act, and the rights provided thereunder, are available from the ADA Coordinator. If you are planning to attend and you have a disability requiring any special assistance at the meeting and/or if you have any concerns, please immediately notify the ADA Coordinator.

MINUTES
TRAVERSE CITY HISTORIC DISTRICTS COMMISSION
REGULAR MEETING
THURSDAY, FEBRUARY 25, 2016
7:00 P.M.
Committee Room, Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684
231-922-4464

PRESENT: Commissioners Andres, Zacks, Crane,
Vice-Chairperson Tobin and Chairperson Callahan.
ABSENT: Commissioners Mansuy and Carol
STAFF PRESENT: David Weston

1. CALL MEETING TO ORDER

The meeting was called to order at 7:00 p.m.

2. APPROVAL OF MINUTES

Approval of the February 17, 2016 special meeting minutes.

Motion by Commissioner Tobin, seconded by Commissioner Andres to approve the February 17, 2016 special meeting minutes as presented. Upon vote the motion carried 5-0.

3. REQUEST 16-HDC-02 FROM MIKE GRANT AND T.J. ANDREWS, 619 WEBSTER STREET, TRAVERSE CITY, MICHIGAN for:

Approval of plans to replace an existing front entry with a larger entry and front porch located at the property mentioned. (Boardman Neighborhood Historic District).

T.J. Andrews presented drawings and answered questions from the Commission. Motion by Commissioner Tobin, seconded by Commissioner Andres to approve the drawings as presented contingent that an architectural beam is added to the front of the porch extending across the columns and the new front window match the proportions of the windows to the east and west. Upon vote the motion carried 5-0. Commissioner Tobin will serve as the project liaison.

4. REQUEST 16-HDC-03 FROM JOHN SOCKS, 200 LAKE STREET DEVELOPMENT LLC., 309 CASS STREET, SUITE 101, TRAVERSE CITY, MICHIGAN for:

Approval of plans for the construction of a 5-story mixed-use building located at the property commonly known as **113 South Park Street**, Traverse City, Michigan (Downtown Historic District).

John Socks presented drawings and answered questions from the Commission. Motion by Commissioner Andres, seconded by Commissioner Crane to approve the drawings as presented. Upon vote the motion carried 5-0. Commissioner Callahan will serve as the project liaison.

5. OTHER BUSSINESS

None.

6. ADJOURNMENT

The meeting was adjourned at 8:00 p.m.

Respectfully submitted

David M. Weston, Secretary

Date _____



TRAVERSE CITY HISTORIC DISTRICTS COMMISSION
APPLICATION FOR

HISTORICAL PRESERVATION PERMIT

Date of Application: _____

Property Address: 433 W. 7th ST.

Local Historic District: CENTRAL Neighborhood

Existing Zoning Classification: R-1B

Architectural / Design Firm: BC DRAFTING & DESIGN

Address: 8711 E 12 RD MANTON, MICHIGAN 49663

Description of Plans: New front porch & REAR DORMER

THE COMPLETED APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT A MINIMUM OF 10 DAYS PRIOR TO THE MEETING AT WHICH THE REQUEST WILL BE CONSIDERED AND SHALL MEET ALL REQUIREMENTS LISTED ON THE REVERSE SIDE.

Owner Name: Robert V. Legutko Phone: 810 701 0147 Fax: _____

Address: 6015 WINGED FOOT DR. GRAND BLANC MI

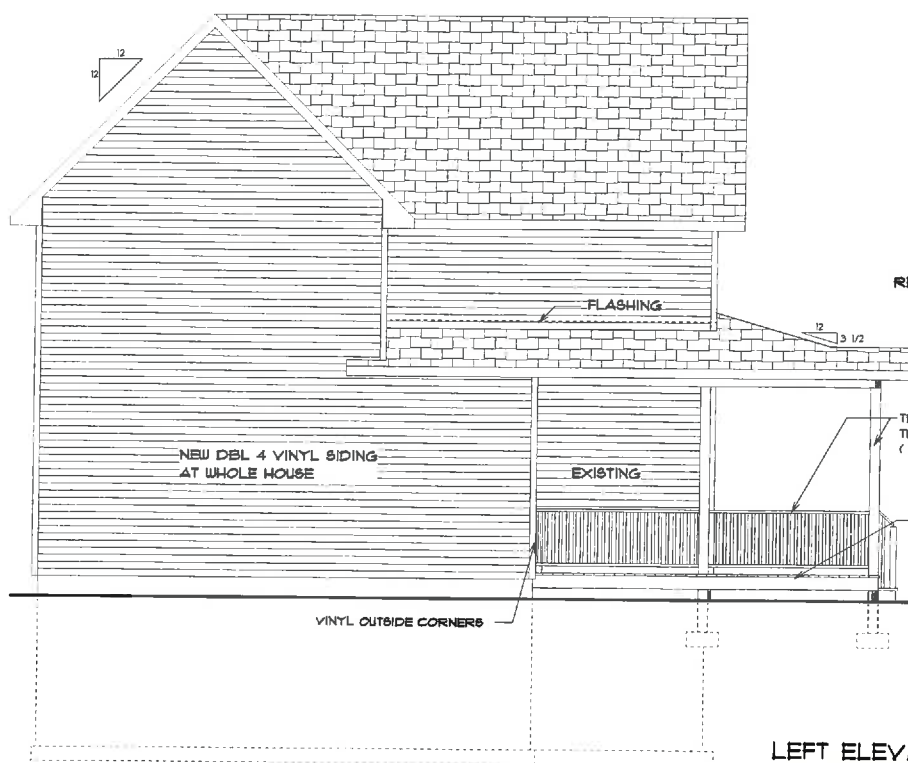
Signature of Owner: [Signature]

Signature of Applicant (if different): _____

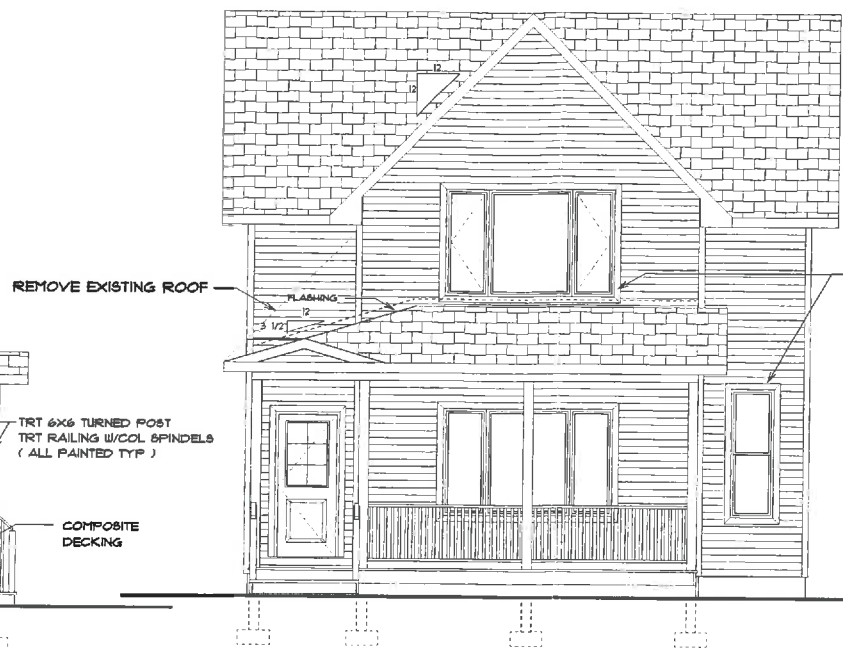
Relationship of Applicant to Owner: _____



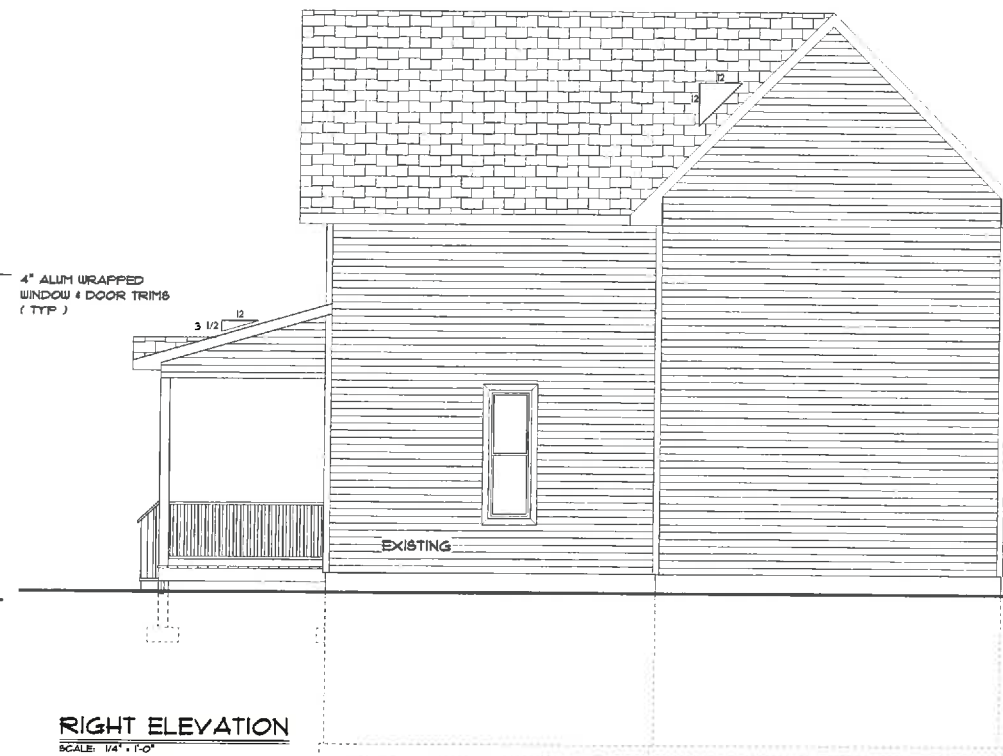




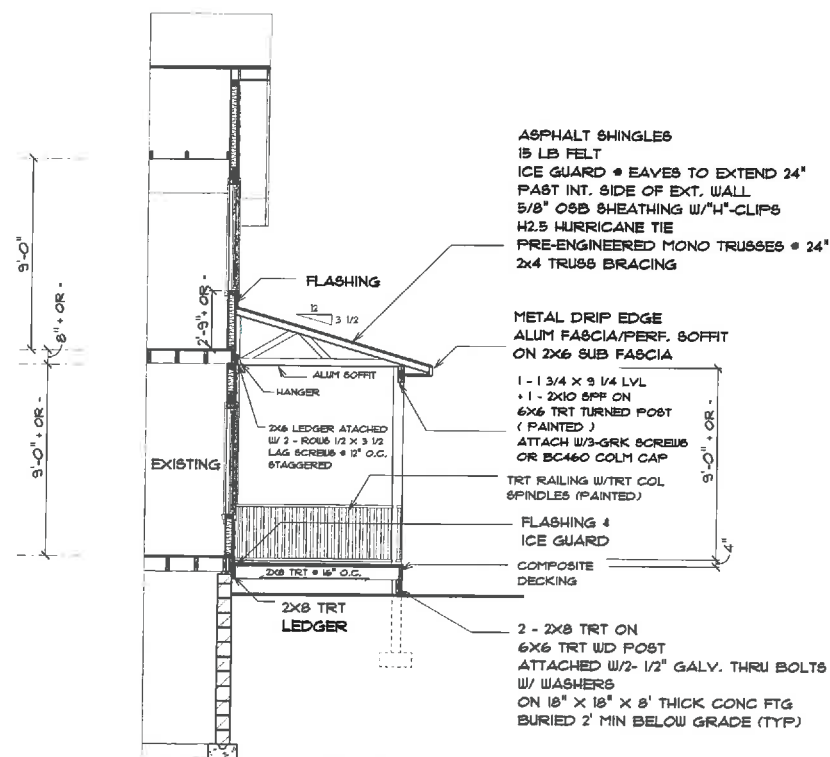
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



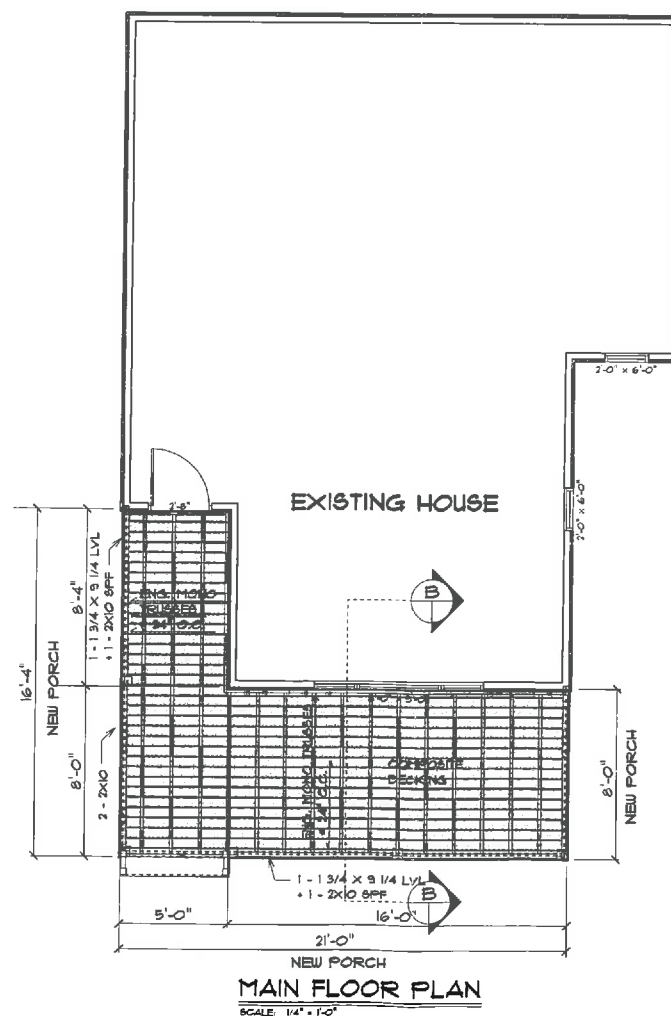
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



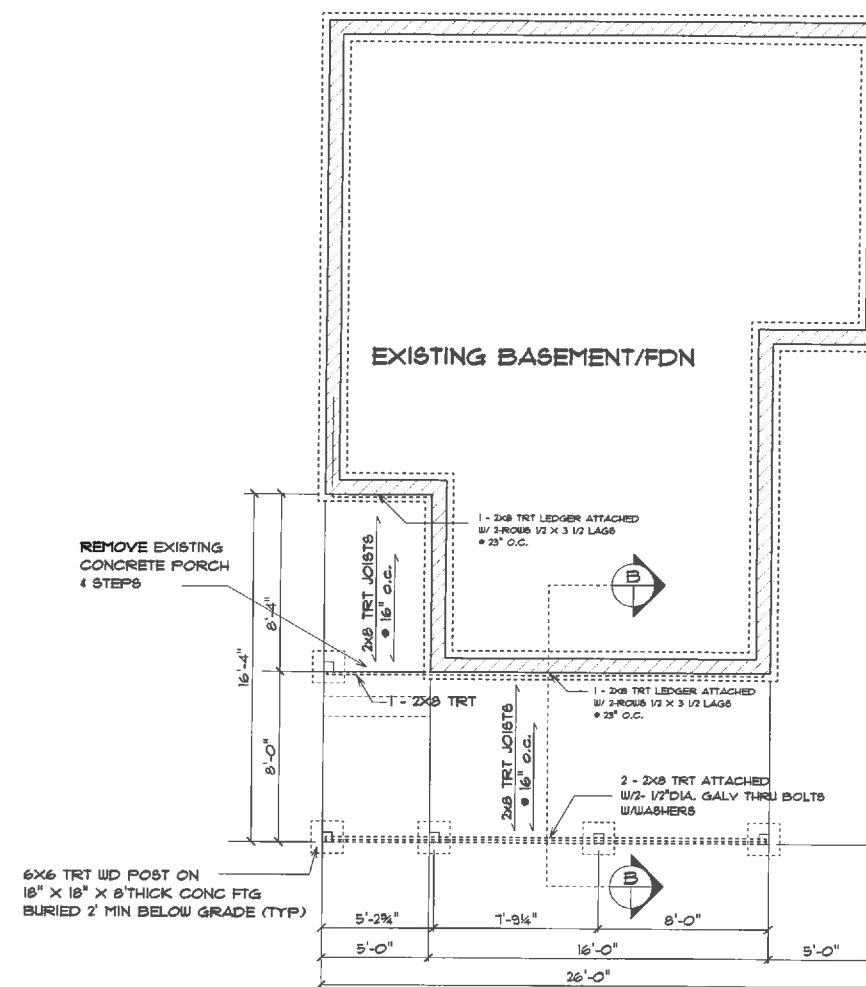
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



CROSS SECTION A-A
SCALE: 1/4" = 1'-0"

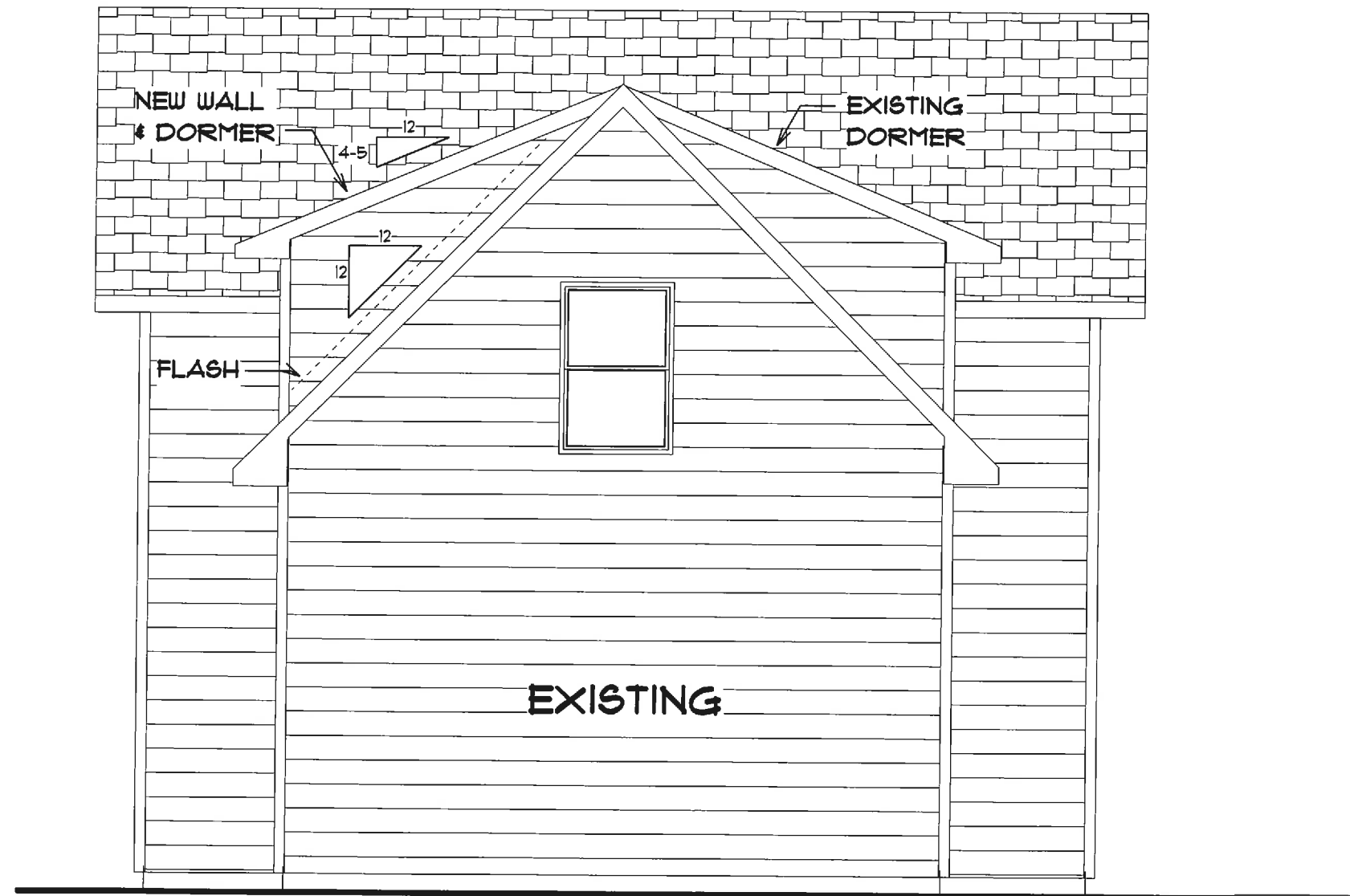


MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN PORCH
SCALE: 1/4" = 1'-0"

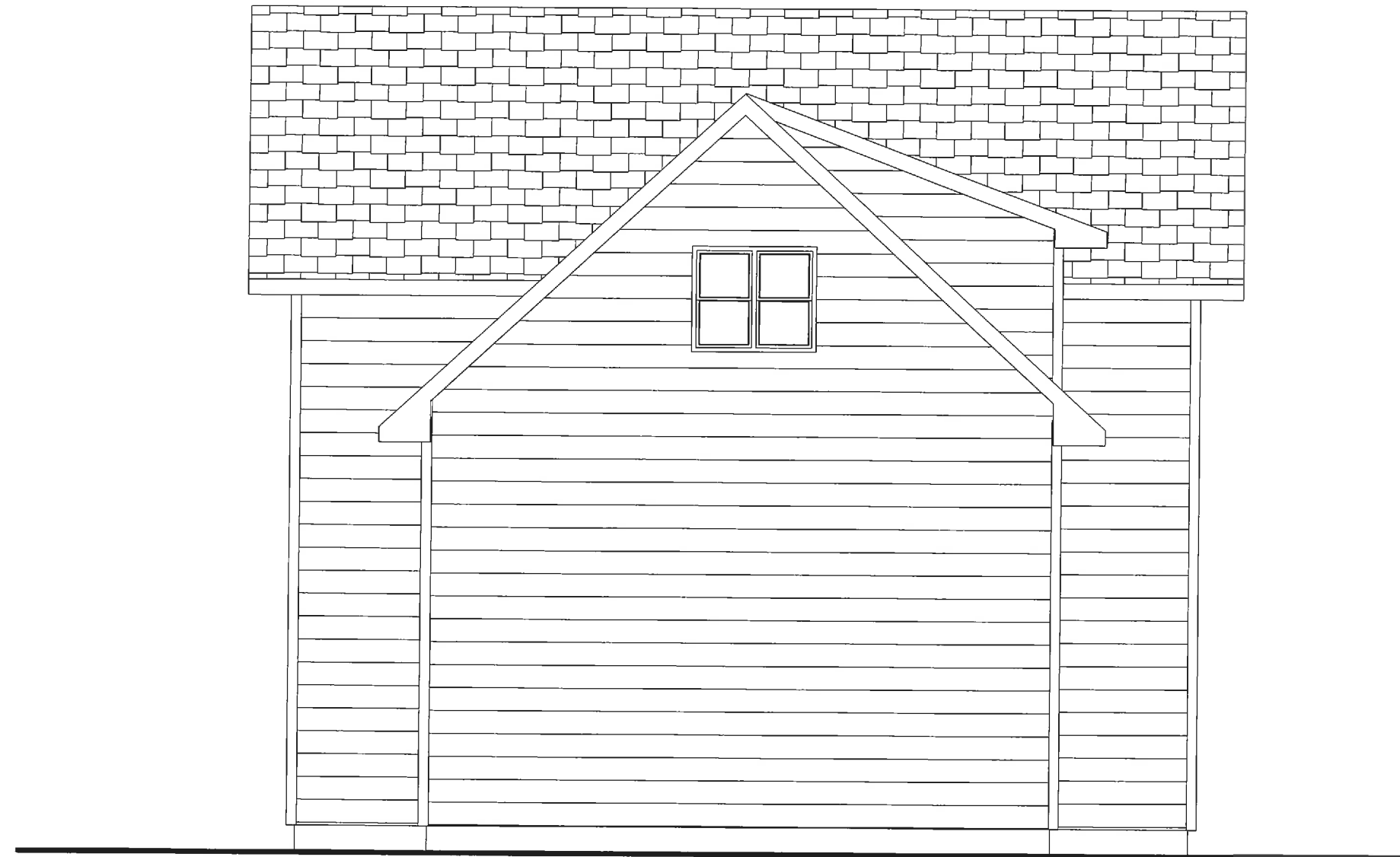
NEW COVERED DECK ROBERT LEGUTKO 433 W 7 TH STREET TRAVERSE CITY, MI	 ARCHITECTURAL DESIGN SOFTWARE	BC DRAFTING & DESIGN		REVISED 3/15/16		APPROVED:	PAGE: A-1
		8711 E 12 RD MANTON MICHIGAN 49663		SCALE: 1/4" = 1'-0"		CHECKED BY:	
		PHONE: 231 824 3074 231 824 3074		DRAWN BY: BC			
		CRAWFORD914@GMAIL.COM		DATE: 11/30/15			



REAR ELEVATION

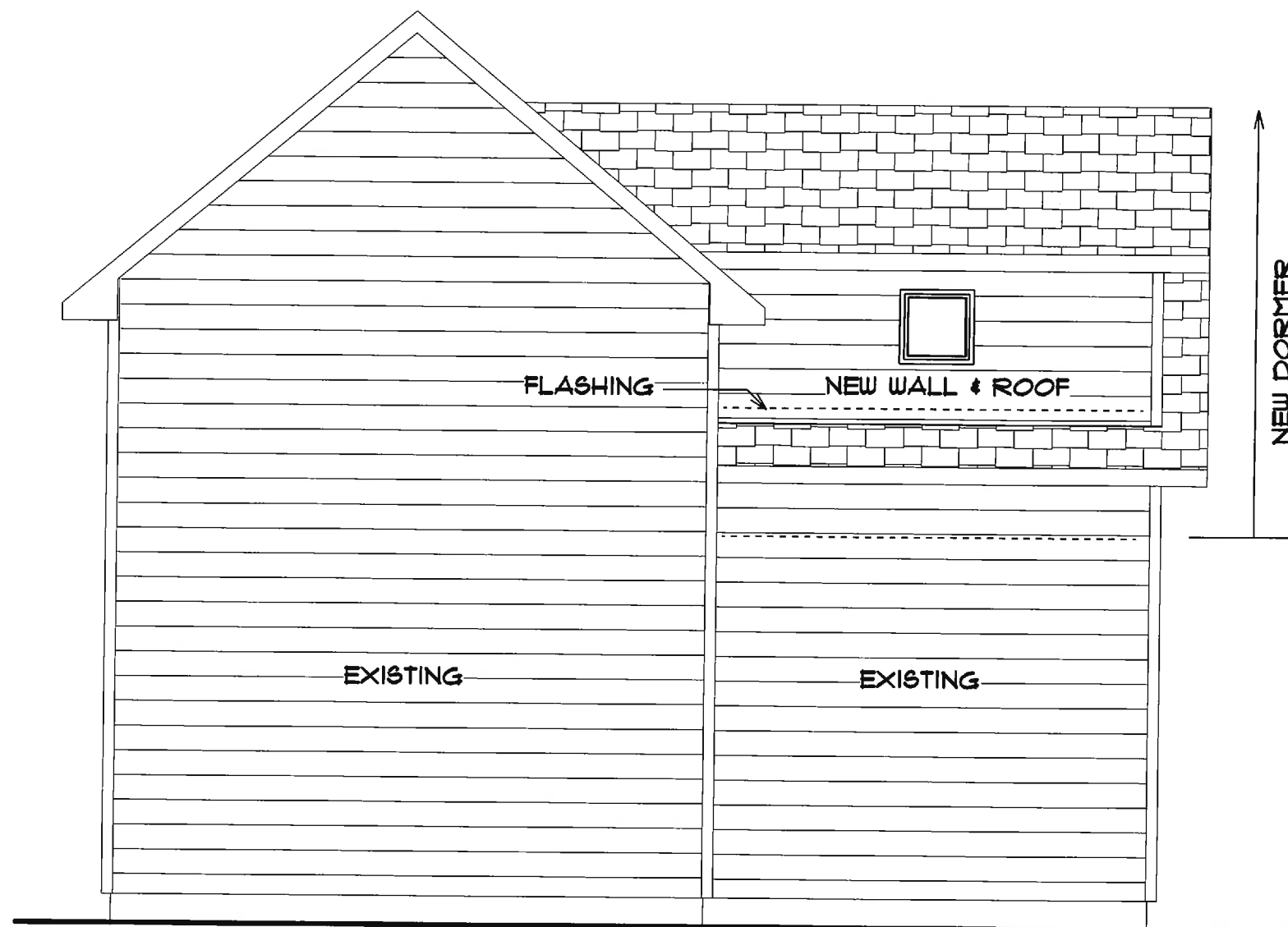
SCALE: 3/16" = 1'-0"

PETE ZOUTENDYK
433 W 7TH ST
TRAVERSE CITY, MI



EXISTING REAR ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

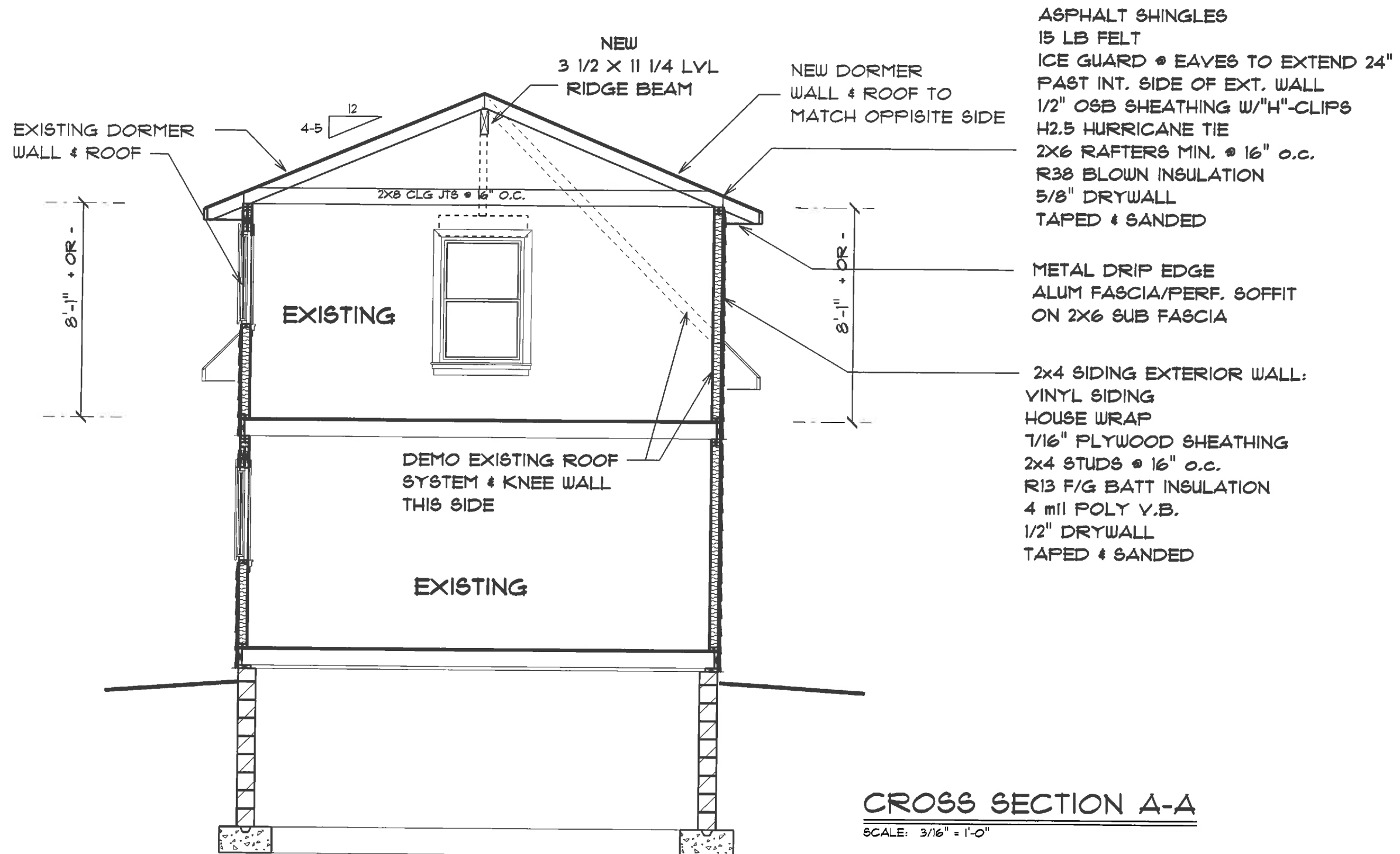
PETE ZOUTENDYK
433 W 7TH ST
TRAVERSE CITY, MI



EXISTING LEFT ELEVATION

SCALE: 3/16" = 1'-0"

PETE ZOUTENDYK
433 W 7TH ST
TRAVERSE CITY, MI



PETE ZOUTENDYK
433 W 7TH ST
TRAVERSE CITY, MI

WIND BRACING METHOD

BWL - INDICATES BRACED WALL LINE
WSP - INDICATES WOOD STRUCTURAL PANEL
CS - INDICATES CONTINUOUS SHEATHING
PFH - INDICATES PORTAL FRAME WITH HOLD-DOWNS
GB - INDICATES GYPSUM BOARD

1. WHERE BRACED WALL LINE INDICATES WSP
OR CS METHOD, ALL OSB SHEATHING (7/16" MIN.) IN THE
WALL TO BE AS FOLLOWS:
EDGES: 8D COMMON WIRE NAILS # 6" O.C.
FIELD: 8D COMMON WIRE NAILS # 12" O.C.
- 2 ALL EDGES OF SHEATHING TO BE SUPPORTED
BY FRAMING OR FULL DEPTH BLOCKING
- 3 ALL PANAL JOINTS TO OCCUR ABOVE MID-LINE
OF WALL
- 4 GB METHOD - (1/2" MIN.) NAILS OR SCREWS AT 1" SPACING
AT PANAL EDGES INCLUDING TOP & BOTTOM PLATES

———— HEAVY LINES INDICATED BRACED WALL
AREAS - NUMBERS INDICATED MIN. LENGTH

— HEAVY LINES INDICATED BRACED WALL
AREAS - NUMBERS INDICATED MIN. LENGTH

BUILDING CODES:

2009 MICHIGAN BUILDING CODE

DESIGN FLOOR LOAD 40 LB LL, 12 LB DL

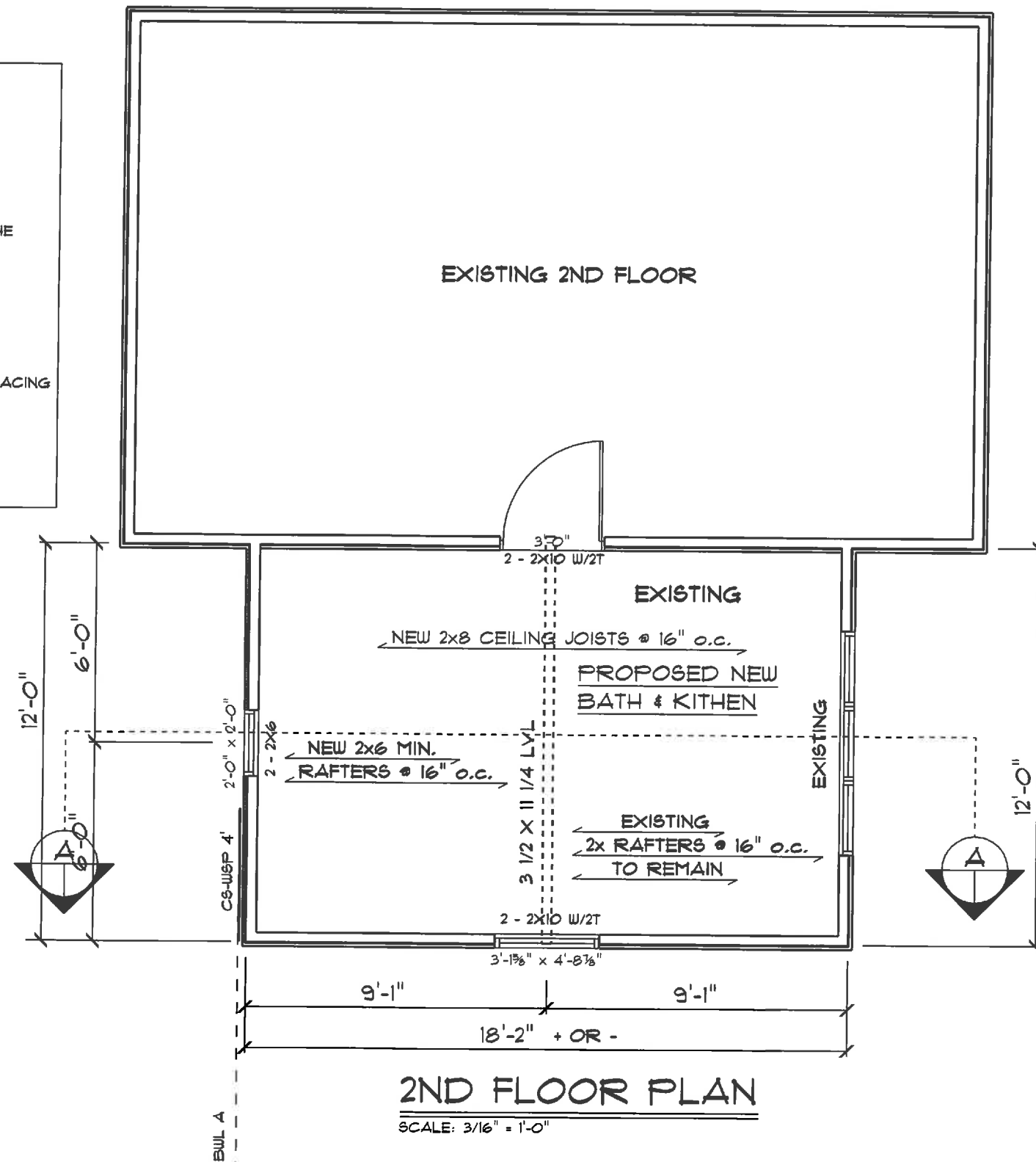
GROUND SNOW LOAD TO PSF

ROOF LOAD 47-T-10

BASIC WIND SPEED 90 MPH

WIND EXPOSURE CATEGORIES B

PETE ZOUTENDYK
433 W 7TH ST
TRAVERSE CITY, MI



SEVENTH

427

431

433

437

441

411

NEW PORCH

←17'→

Legend



1 inch = 20 feet

This map is based on digital databases from the City of Traverse City. Traverse City cannot accept any responsibility for errors, omissions or positional accuracy.



TRAVERSE CITY HISTORIC DISTRICTS COMMISSION
APPLICATION FOR

HISTORICAL PRESERVATION PERMIT

Date of Application: 3/17/2016

Property Address: 536 Washington Street

Local Historic District: Boardman Neighborhood

Existing Zoning Classification: _____

Architectural / Design Firm: BOB KATTELLUS

Address: ~~536~~

Description of Plans: Two-story master bath
addition with demolition and replacement
of main floor bathroom.

THE COMPLETED APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT A MINIMUM OF 10 DAYS PRIOR TO THE MEETING AT WHICH THE REQUEST WILL BE CONSIDERED AND SHALL MEET ALL REQUIREMENTS LISTED ON THE REVERSE SIDE.

Owner Name: Jon + Sue Snow Phone: 231 946-7177 Fax: _____

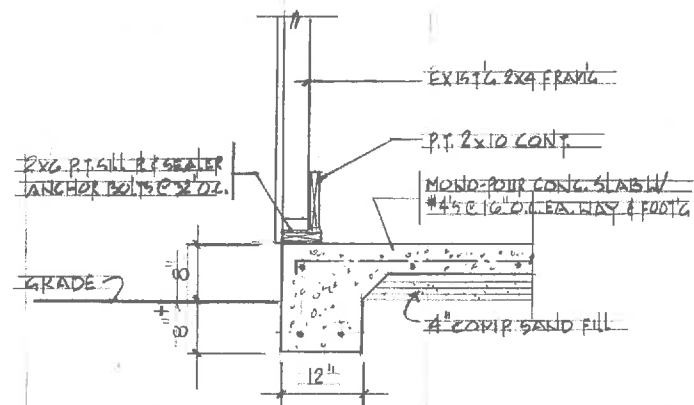
Address: 536 Washington Street, Traverse City MI 49686

Signature of Owner: Jonathan E Snow

Signature of Applicant (if different): _____

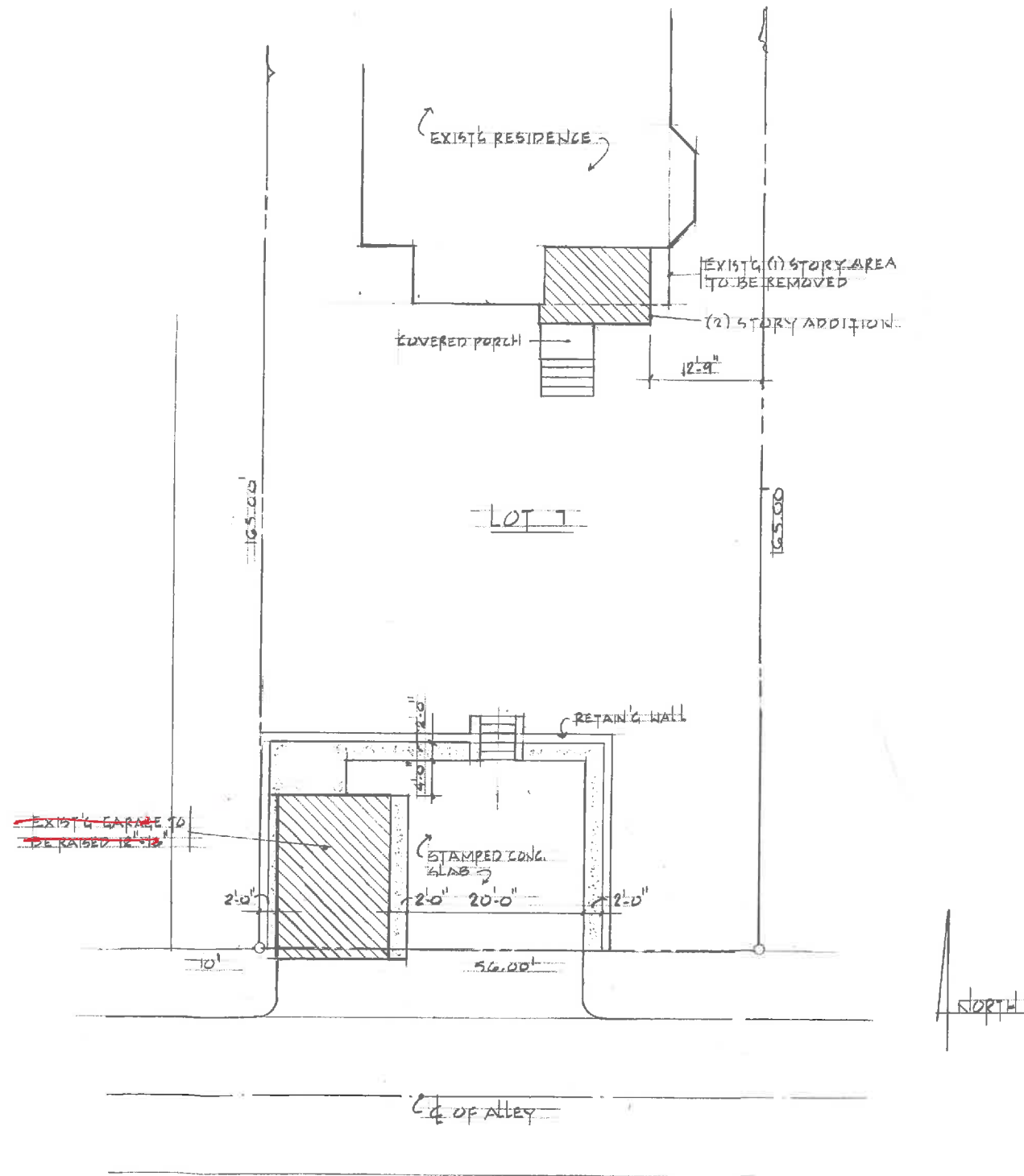
Relationship of Applicant to Owner: _____





SECTION NEW SLAB & FOOTG FOR EXIST' GARAGE

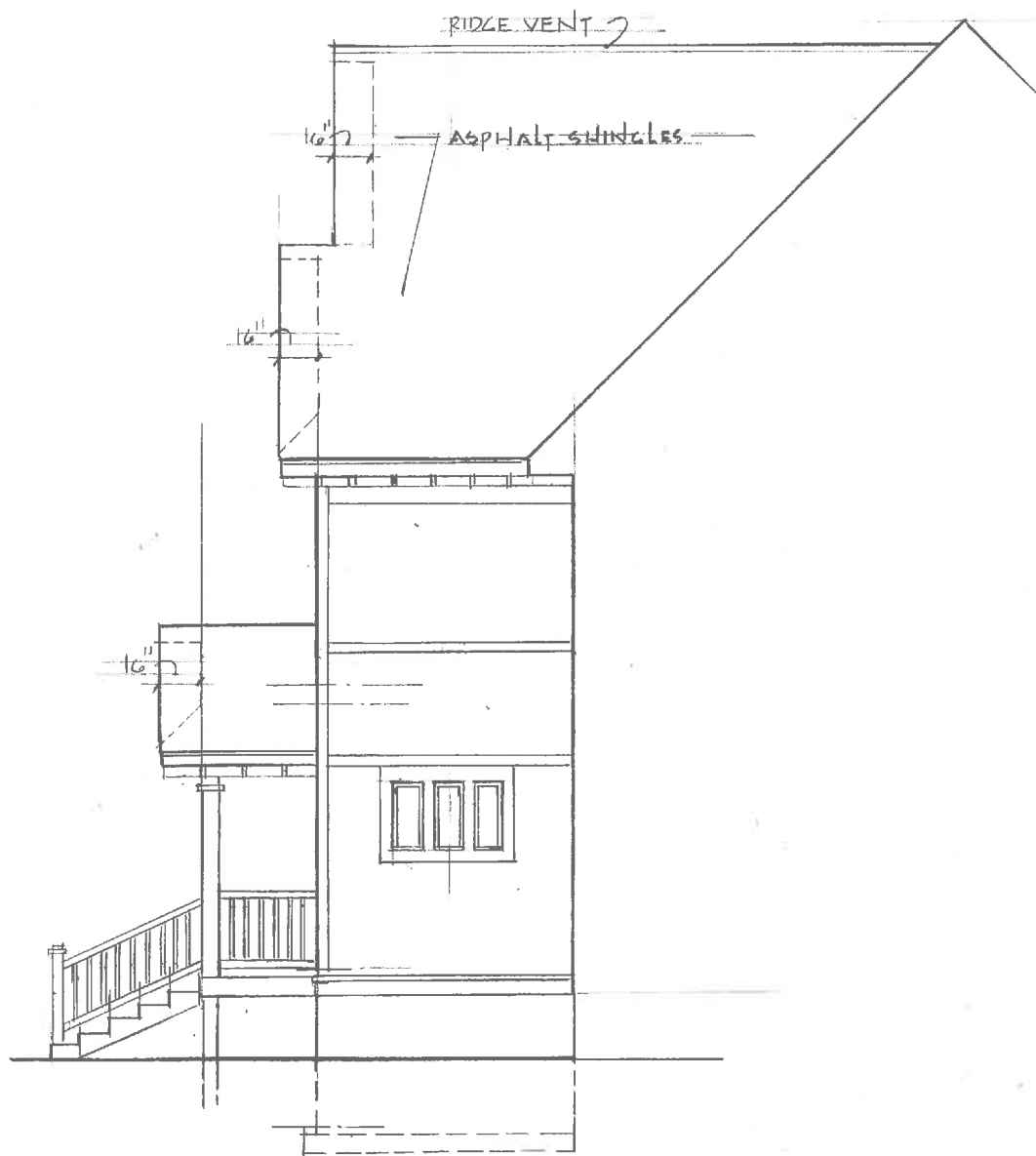
3/4" = 1'-0"



SITE PLAN

636 WASHINGTON ST. 1" = 20'-0"

SHEET NO.	SHEET TITLE	DATE	CLIENT
5-1	SITE PLAN	10-15-15	SNOW



EAST ELEVATION

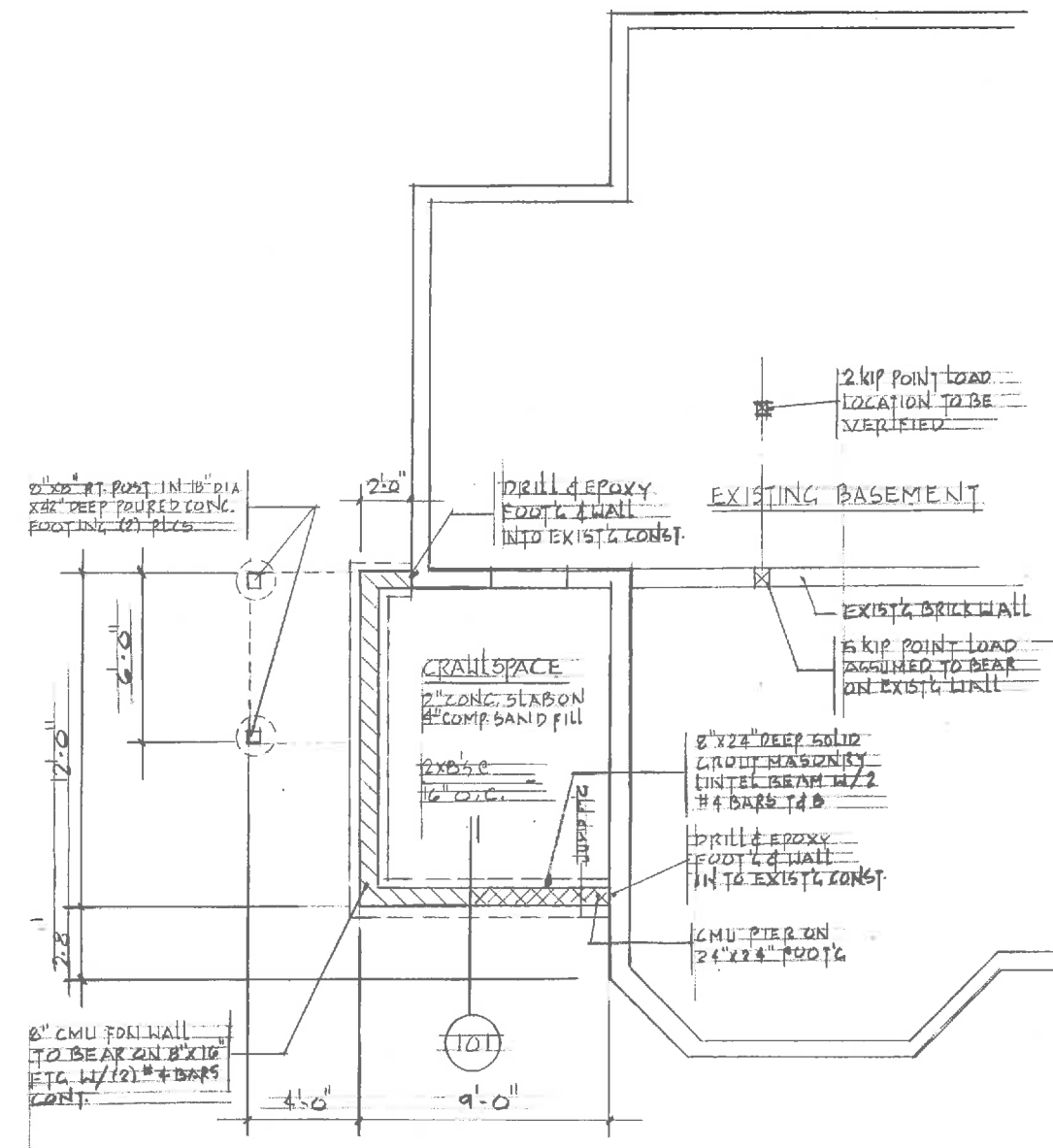
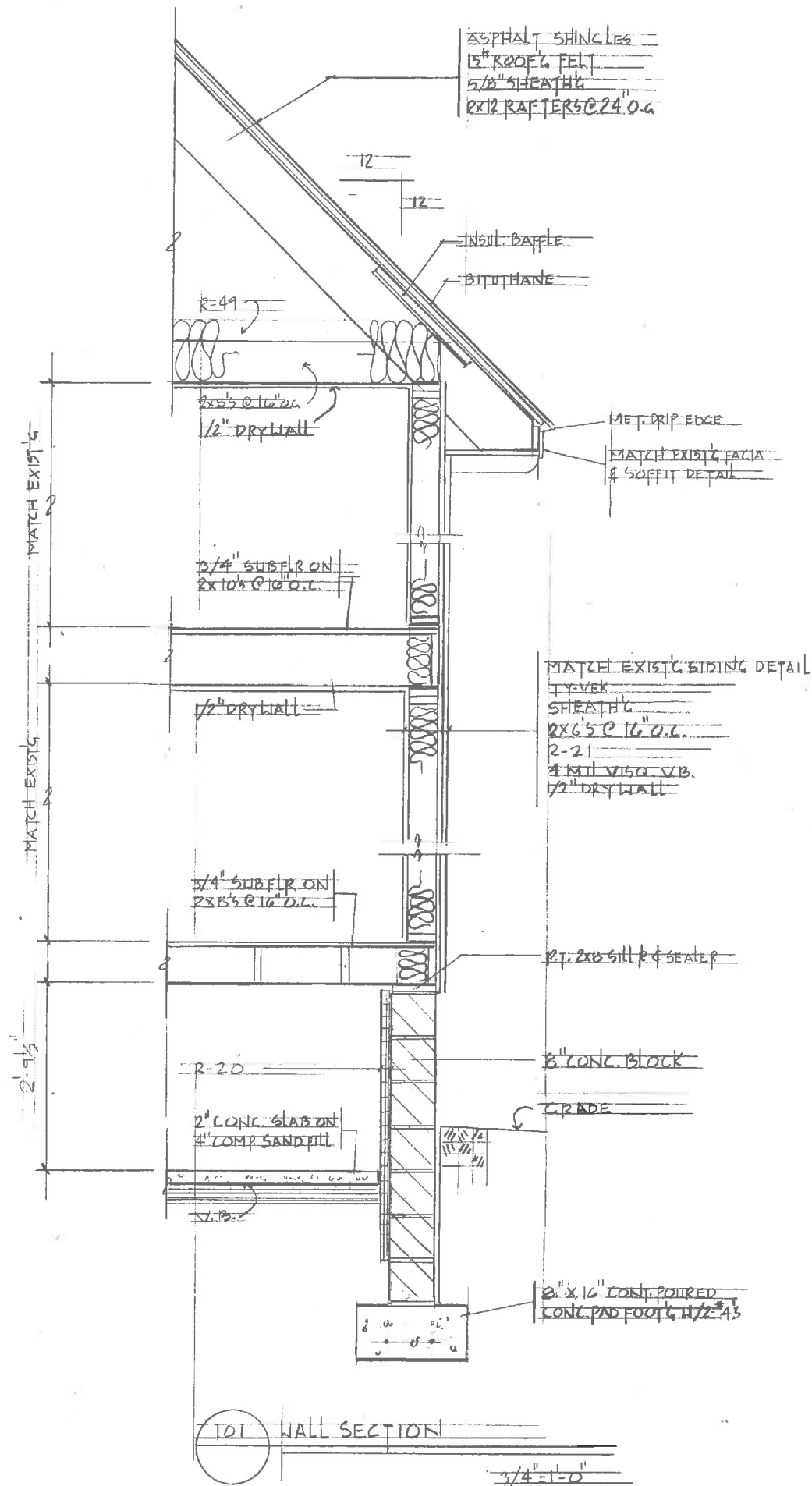
3/4"=1'-0"



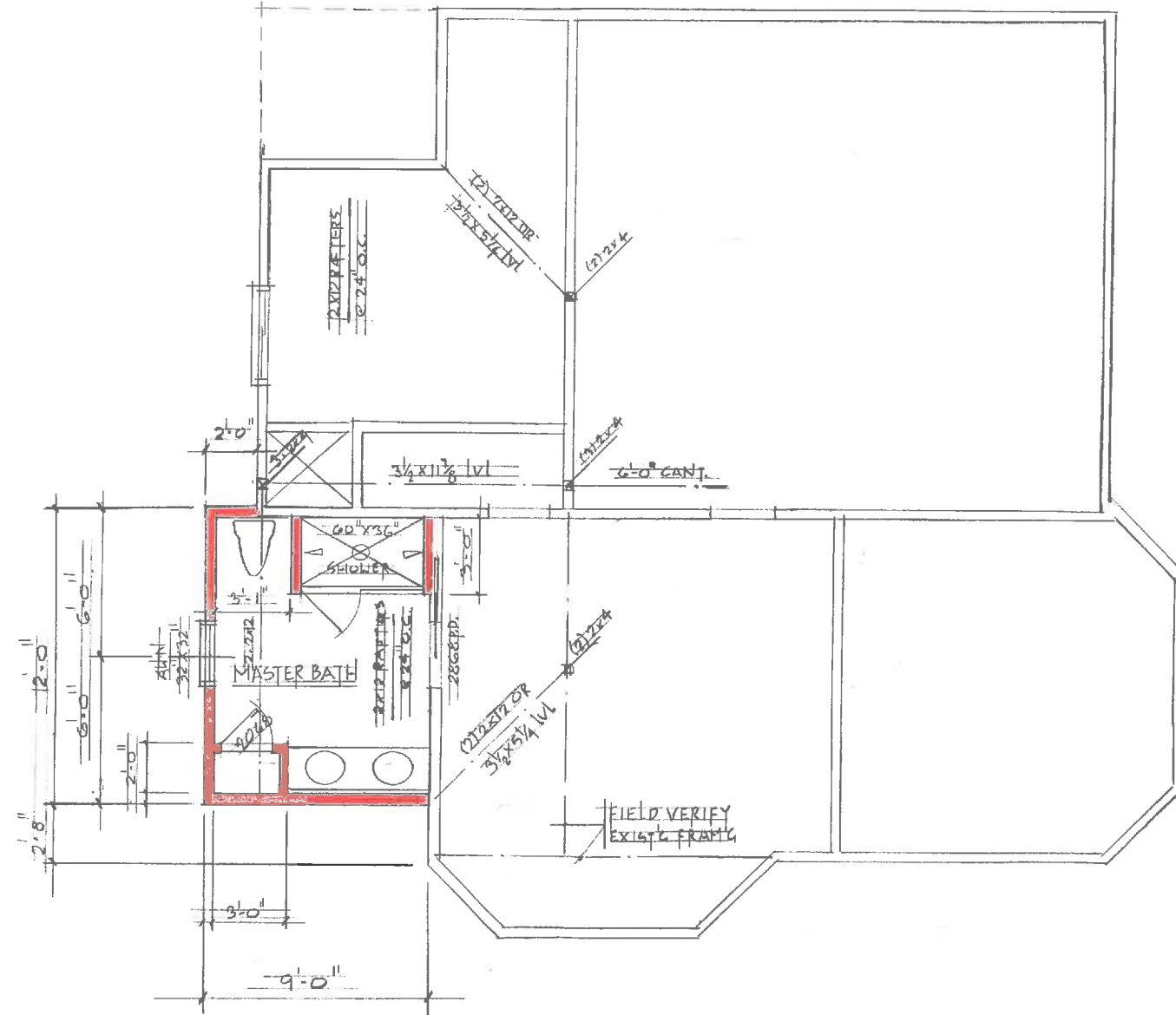
SOUTH ELEVATION

1/4"=1'-0"

SHEET NO.	SHEET TITLE	DATE	CLIENT
A-4	EXTERIOR ELEVATIONS	05/15	SNOW



SHEET NO	SHEET TITLE	DATE	CLIENT
A	CRACK REPAIR FOUND PLAN	12.23.16	1615153304
<p>REVISIONS</p> <p>1. 12.23.16</p>			



PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"

SHEET NO. A-3	SHEET TITLE SECOND FLOOR PLAN	REVISED 2.23.16	DATE 10.15.15	CLIENT SNOW
------------------	----------------------------------	--------------------	------------------	----------------